

BASIXCertificate
Building Sustainability Index www.basix.nsw.gov.au

Certificate number: 1035957S_04
Secretary
Date of issue: Monday, 13 September 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Basix-Commitments
for details: See the Basix certificate

Alternative water
The applicant must install a rainwater tank of at least 5000 litres.
The rainwater tank to collect rain runoff from at least 150 m² of the roof.
The applicant must connect the rainwater tank to:
• all toilets in the development
• the cold water tap that supplies each clothes washer
• at least one outdoor tap in the development

Fixtures
• Shower heads 3 star (>7.5 but <= 9.0 L/min)
• Toilets..... 4 star
• Kitchen tap..... 5 star
• Basin Taps..... 5 star

Hot Water System: gas instantaneous with a performance of 6.0 stars (or a system with a higher energy rating/
Heating/Cooling: In at least 1 living area and 1 bedroom: 3-phase Air-conditioning; Energy rating: EER 2.5 - 3.0 (Zoned)

Ventilation
• At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off
• Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
• Laundry: natural ventilation only, or no laundry; Operation control: n/a

Natural lighting: Window in 3 Bathrooms/Toilets

Artificial lighting fluorescent or (LED)/DEDICATED/:
• 5 in the bedrooms/study,
• 3 in the living,
• The kitchen, Bathroom, Laundry and ALL Hallways

OTHER
• The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
• The applicant must install a fixed outdoor clothes drying line for the dwelling

Swimming pool
• The swimming pool must not have a volume greater than 50 kilolitres.
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• The applicant must install a timer for the swimming pool pump in the development.

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• The applicant must install a photovoltaic system with the capacity to generate at least 1.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.

Building Elements
For details: See the Nathers certificate
Thermal Comfort Simulation method
A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs.
The dwelling design has been assessed with NATHERS software from an accredited assessor
External Walls
•Tilt up Concrete: No Insulation
•Tilt up concrete, lined Bulk Insulation R2.0
Internal Wall
•Single Skin Brick Bulk Insulation, No Air Gap R 2.0
•Single Skin Brick No Insulation
•Tilt Concrete No Insulation
External Floor
•Waffle pod slab
•Suspended floor (Open to air) R2.5
Internal Floor/Ceiling
•Concrete Above Plasterboard Bulk Insulation R 2.0
•Concrete Above Plasterboard No Insulation
External Ceiling
•Concrete, Plasterboard No Insulation No roof space cavity
•Concrete, Plasterboard Bulk Insulation R3.5 No roof space cavity
Roof
•Water/roofing Membrane No Insulation, Only an Air Gap
Note: All offer ceiling verticals and walls against the roof-space, to be insulated, with the same insulation as the ceiling insulation
Note: All downlights, i.e. F, HC, 4" (Insulation covered) including the control gear(s) rated as per AS/NZS standard 60598 and IP (sealed) rated as per EN 60598-1:1992, European IEC 60099-1:1989
Note: (where the roof is extended over an open area such as a deck or carport). A barrier to be installed within the roof-space to separate the space above the zoned part of the house and the space above the open veranda.
Note-Ceiling fans: For the number and the location, see the Nathers certificate



CLIENT
Barni & Patrizia Askaro

PROJECT NO.
19xsy011

ADDRESS
**4 Loch Maree
Vaucluse
NSW 2030**

DRAWN BY
RB

CHECKED
GS

Any validation of these drawings requires written permission from X.PACE

X.PACE Registered Architect: Goran Stojanovic_registration No 6949
ABN 88 079 781 570

UNIT 201 • 50 Marshall Street, Surry Hills NSW 2010

T 61.2.9358.1333 F 61.2.9358.1344 e-mail mail@xpace.com.au

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AMENDMENTS

REVISION	DATE	DESCRIPTION
A	24.8.21	Revised Design
B	13.9.21	Revised Design

ISSUE

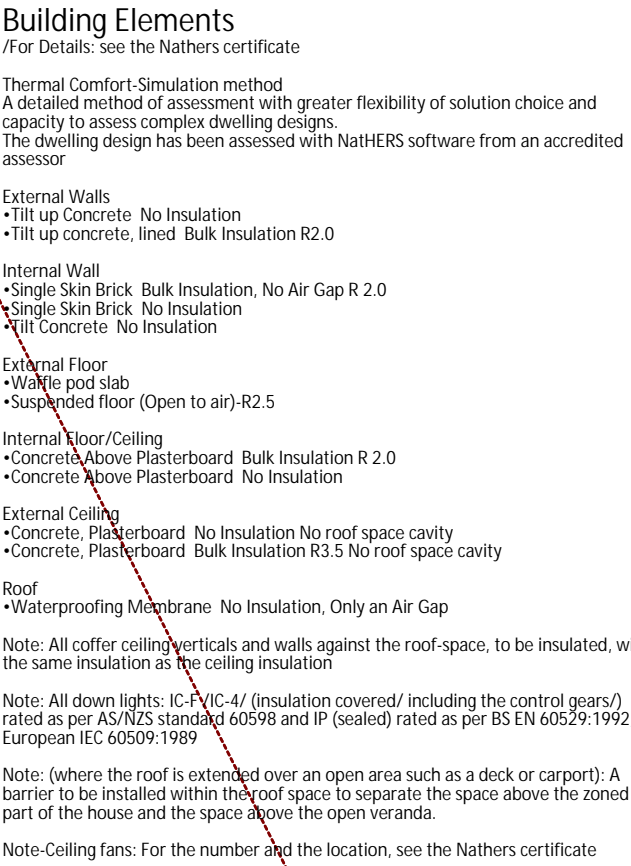
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1	24.8.21	-	-	Issue To Land & Environment Court
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TITLE
PLAN_Basement Level

SCALE
1:100 @ A1

TYPE	NUMBER	AMEND
1_01		B
PURPOSE		PROJ DATE 13.9.21

Loch Maree



Planning,
Industry &
Environment

Alternative water

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• Shower heads	3 star (>7.5 but <= 9.0 L/min)
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X.PACE Registered Architect: Goran Stojanovic _registration No 6945
ABN 88 079 781 570

TYPE	NUMBER	AMENDT
	1_02	B
PURPOSE	PLOT DATE	
	13.9.21	

BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 10359575_04
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Barni & Patrizia Askaro		19xsy011	RB	REVISION	DATE	DESCRIPTION	NO.	DATE	AMEND / REV
ADDRESS		4 Loch Maree	CHECKED	A	24.8.21	Revised Design	1	24.8.21	-
Vaucluse		NSW 2030	GS	B	13.9.21	Revised Design	2	13.9.21	-
NSW 2030				TYPE		NUMBER	AMEND		
				1_03			B		
				PURPOSE			PROJ DATE		
							13.9.21		

13.9.21

X.PACE

Registered Architect: Goran Stojanovic_registration No 6949

ABN 88 079 781 570

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TITLE

PLAN_Level 1

SCALE

1:100 @ A1

1_03

B

Loch Maree

Basix-Commitments
/for details: See the Basix certificate/

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CLIENT Barni & Patrizia Askaro	PROJECT NO. 19xsy011	DRAWN BY RB
ADDRESS 4 Loch Maree Vaucluse NSW 2030	CHECKED GS	

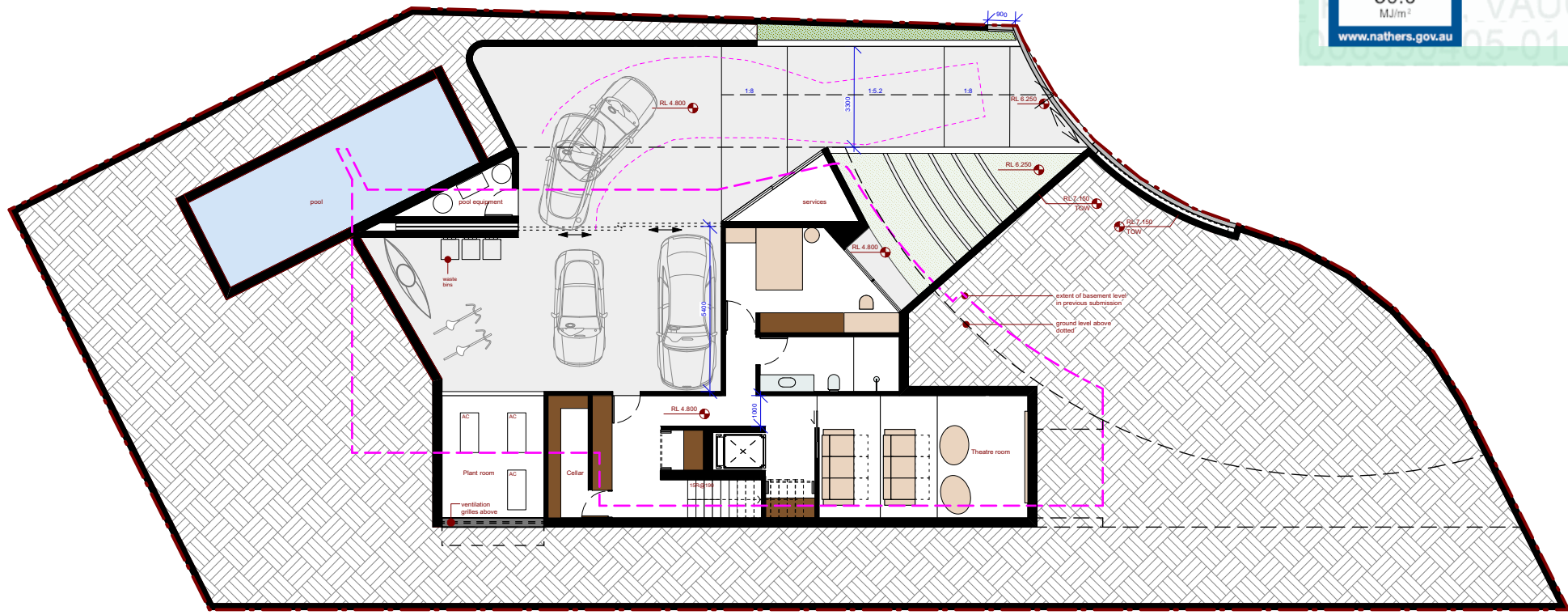
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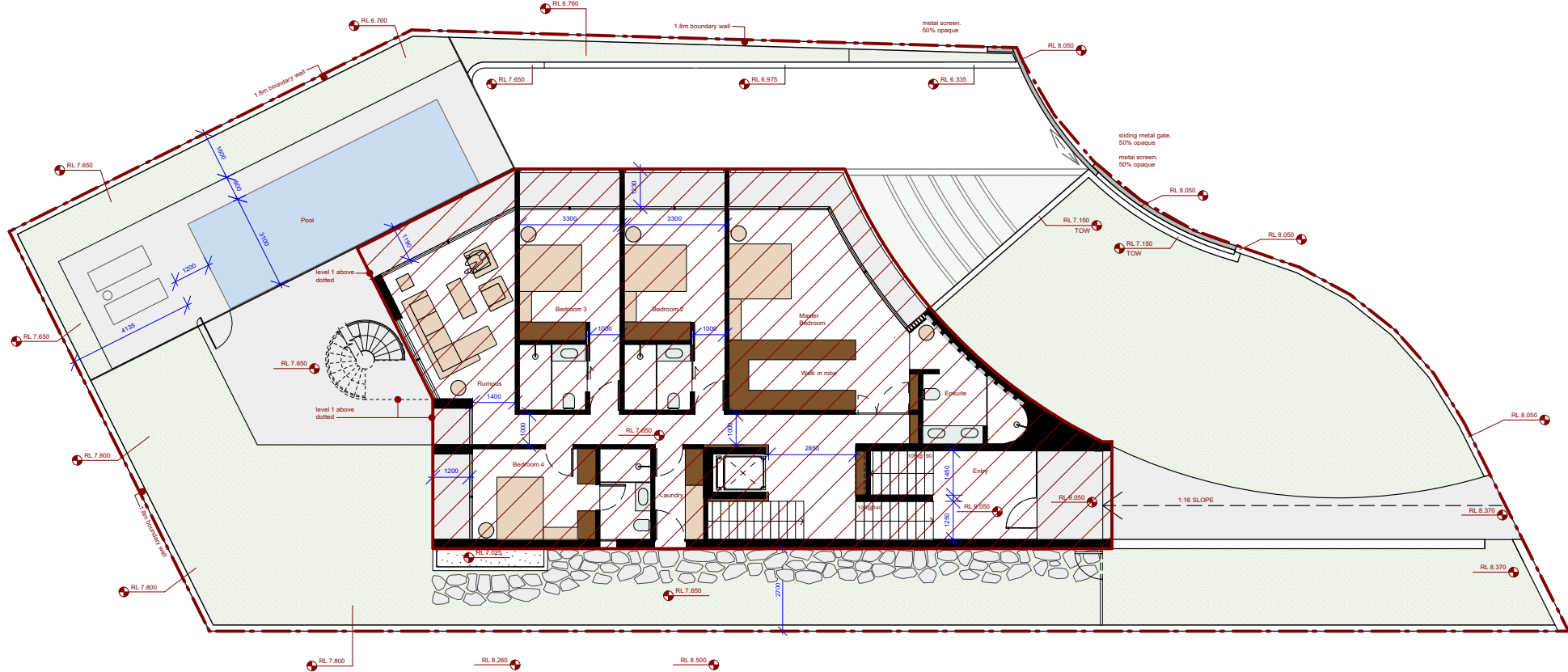
TITLE	
Roof Plan	

SCALE
1:100 @ A1

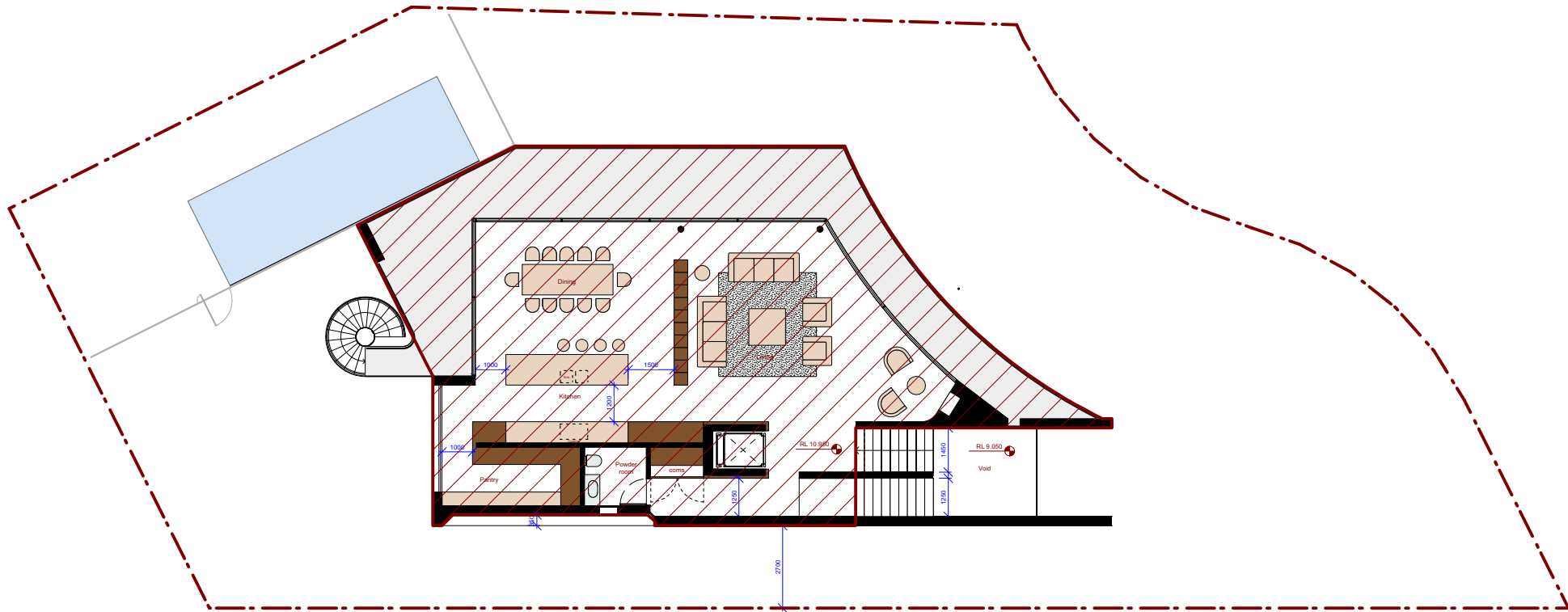
TYPE	NUMBER	AMEND
1_04		B
PURPOSE	PLOT DATE 13.9.21	



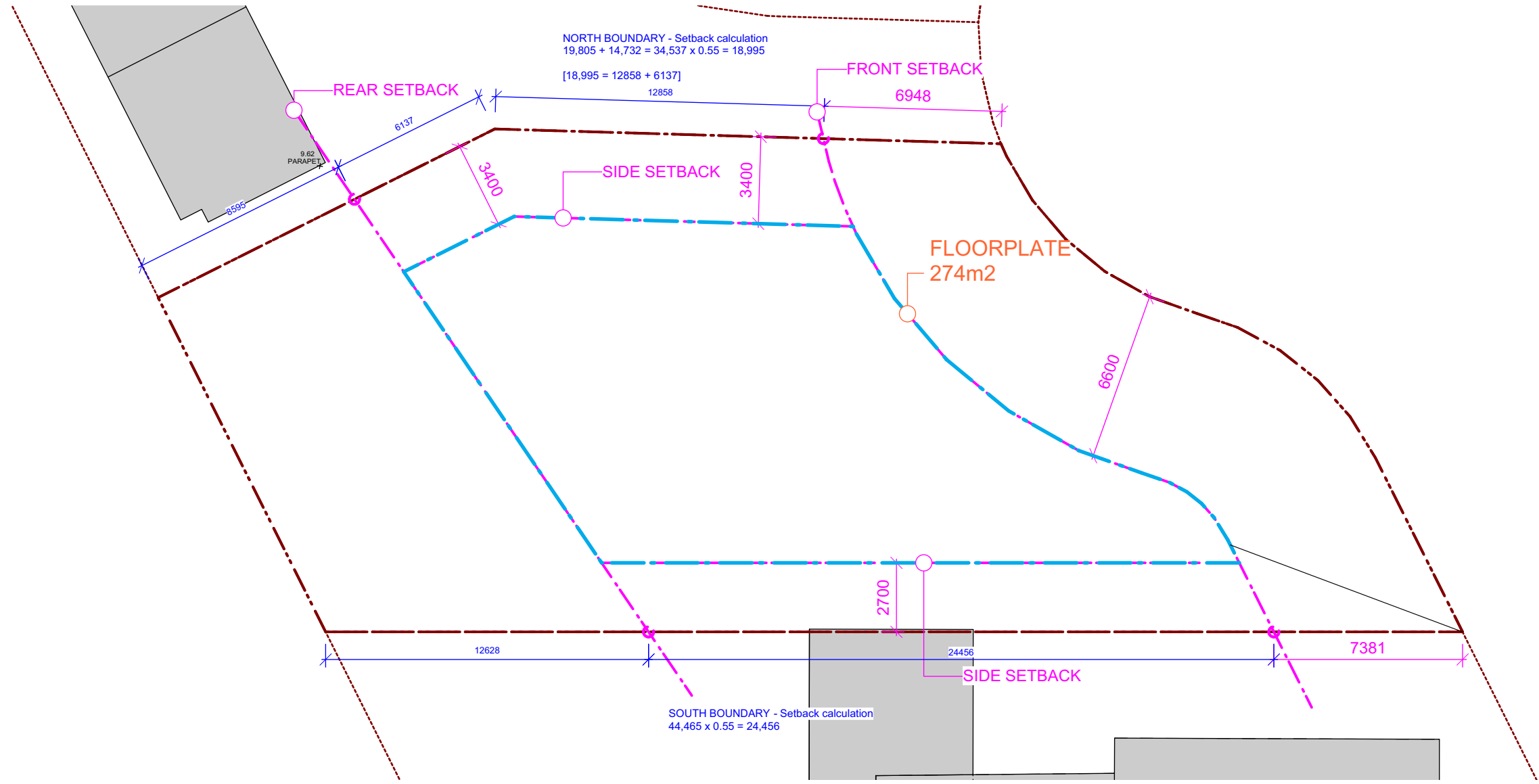
Basement level



Ground Level



Level 1



Buildable Area Diagram

FLOORPLATE CALCULATION
Revised [building lowered & living areas flipped]

BASEMENT LEVEL		
	FLOORPLATE	nil
GROUND LEVEL		
	FLOORPLATE	232 sqm
LEVEL 1		
	FLOORPLATE	203 sqm
Total Area		435 sqm

- Lot: 754.00 sqm
- Permissible buildable Area based on DCP site setbacks: [274m² x 1.65] = 452.1m²
- Buildable Area based on existing floorplate [including approved DA for attic extension] : 615m²
- 615m² [approved existing area] - 435 [proposed area] = Proposed is 180m² less than existing

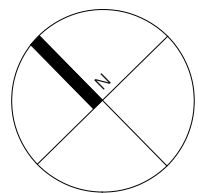
CLIENT
Barni & Patrizia Askaro

PROJECT NO.
19xsy011

DRAWN BY
NK

ADDRESS
**4 Loch Maree
Vaucluse
NSW 2030**

CHECKED
GS



AMENDMENTS	
REVISION	DESCRIPTION
A	24.8.21 Revised Design
B	13.9.21 Revised Design

ISSUE	
NO.	DATE
1	24.8.21
2	13.9.21

AMEND REV	ISSUED TO / PURPOSE
1	Issue To Land & Environment Court
-	Issue To Land & Environment Court

TITLE
AREA CALCULATION

SCALE
1:200 @ A1

TYPE	NUMBER	AMEND
	1_10	B
PURPOSE	PLOT DATE 13.9.21	

Single Dwelling

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Planning,
Industry &
Environment

6.1

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

50.0

MJ/m²

www.nathers.gov.au

0006390405-01 13 Sep 2021

Assessor Zoran Ovetkovski

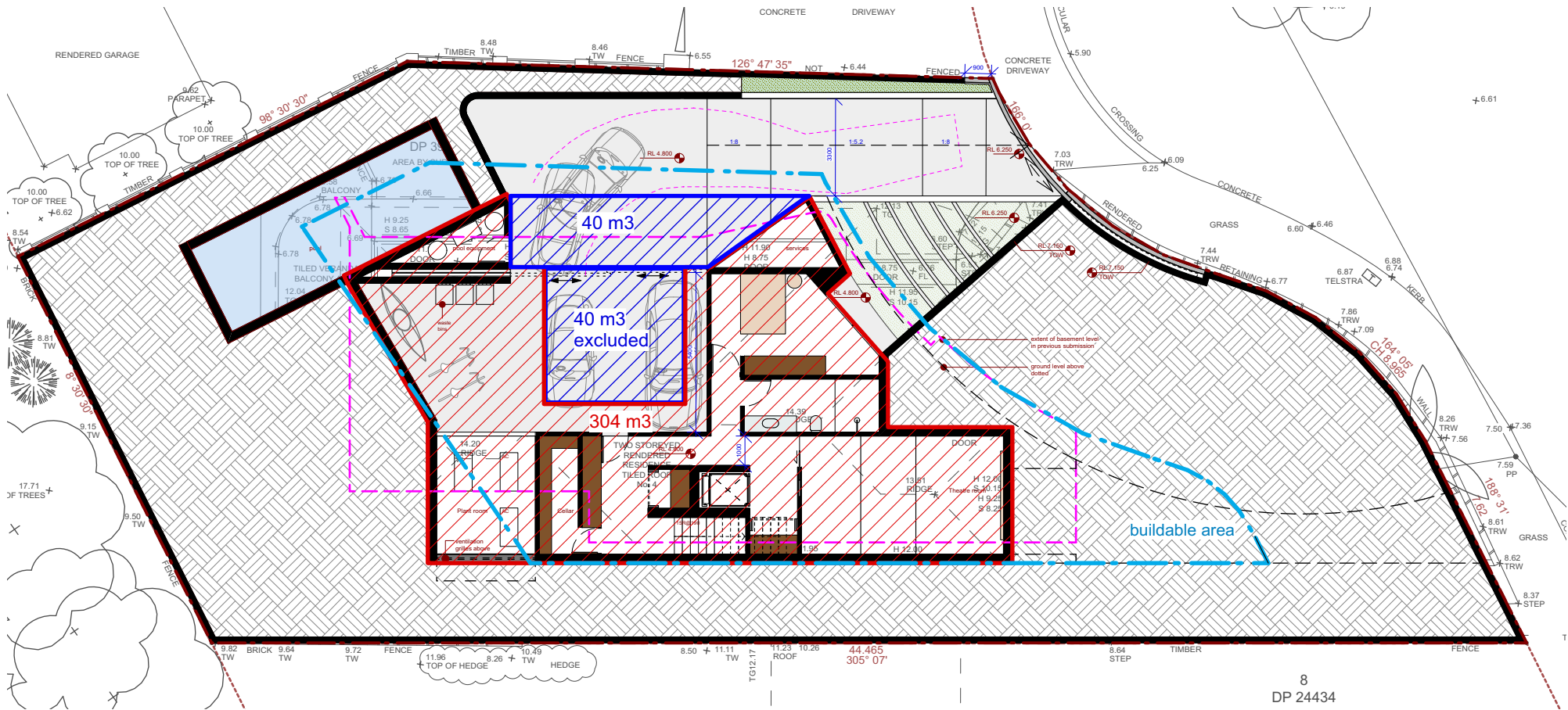
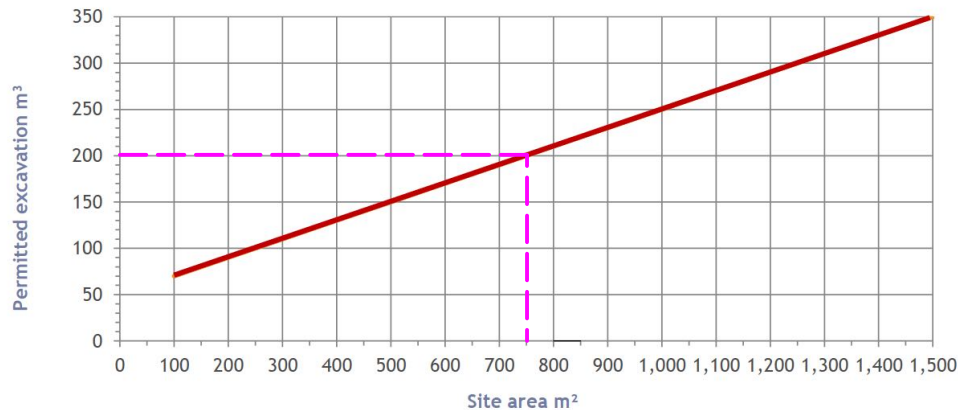
Accreditation No. DMN13/1641

Address

4 Loch Maree Place ,
Vaucluse , NSW , 2030

hstar.com.au

FIGURE 14A
Maximum volume of excavation for the site of:
- a dwelling house
- dual occupancy development
- a semi-detached dwelling



VOLUME OF EXCAVATION CALCULATION [BASED ON GF lowered 1440]

	BASEMENT VOLUME WITHIN BUILDABLE AREA	+304 m3
	CARPARK & ACCESS/DRIVEWAY VOLUME WITHIN BUILDABLE AREA	40 m3
	excluded 40m3	

Total Area of Excavation Proposed
within buildable area

= 304 m3

- Lot: 754.00 sqm

- Permissible excavated area based on DCP_B3_Fig. 14, Page 25: *201m3

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TITLE Excavation Plan

SCALE 1:200 @ A3

TYPE	NUMBER	AMENDT
	9_00	B
PURPOSE		

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X.PACE

ABN 88 079 781 570

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Loch Maree

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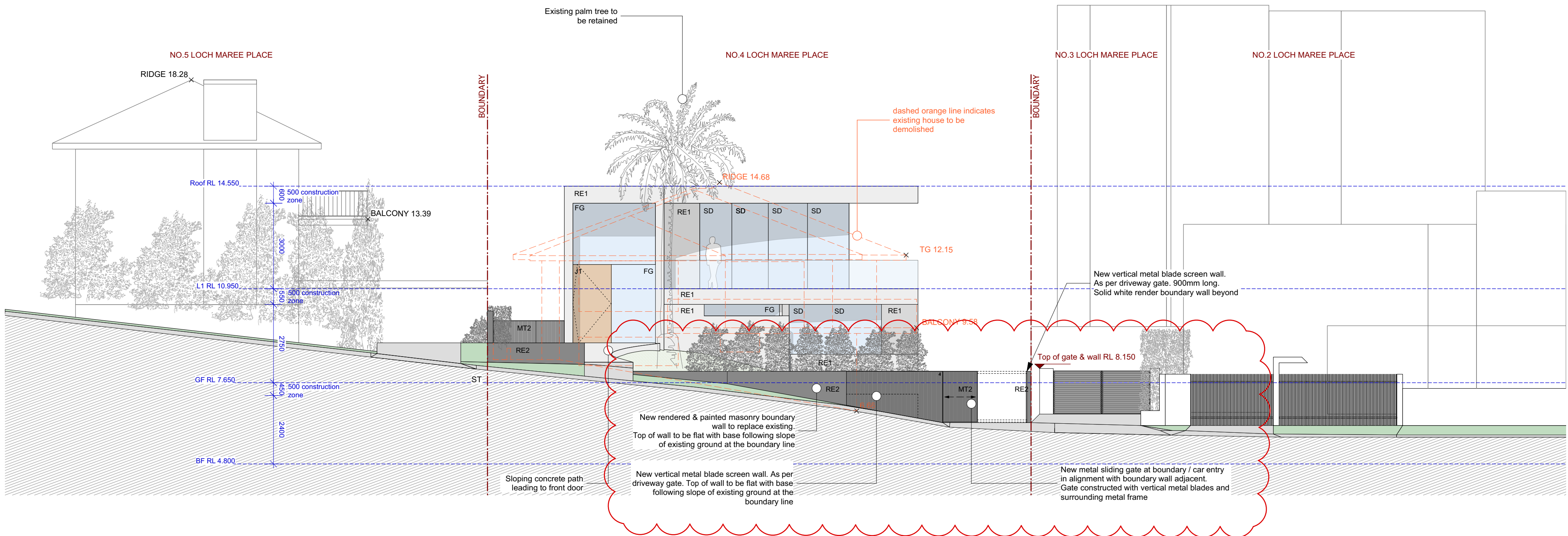
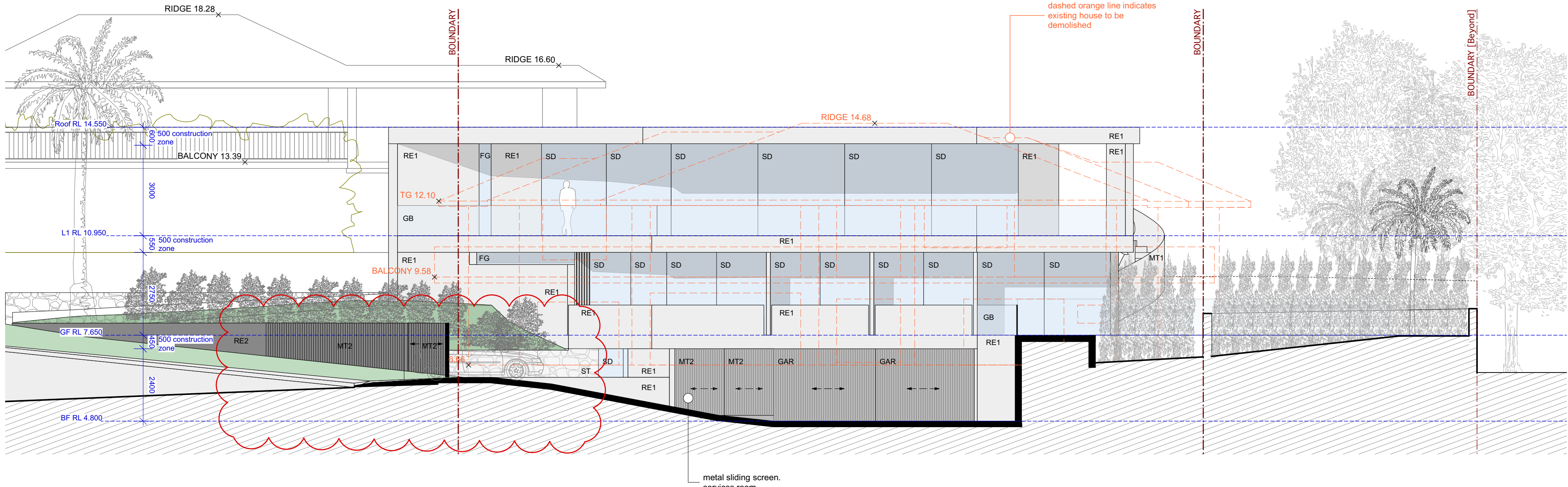
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1
3_01 ELEVATION - North
Scale 1:100 @ A1



SYMBOL	DESCRIPTION - NAME
RE1	Rendered & Painted - White
RE2	Rendered & Painted - Grey
ST	Rubble stone wall [sandstone]
MT1	Metal Work - white
MT2	Metal Work - grey
J1	Timber door
GLD	Glass door
FG	Fixed Glass Window
SD	Sliding Glass Door (aluminium framed)
GAR	Garage Door - Grey metal (sliding)
GB	Glass Balastrade in Glazing Channel
SW	Sashless Window

2
3_01 ELEVATION - East
Scale 1:100 @ A1

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TITLE
**ELEVATIONS
North & East**

SCALE
1:100 @ A1

TYPE	NUMBER	AMEND/REV
3_01		B
PROJECTOR DA	PROJ DATE 13.9.21	

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•Tilt up concrete, lined Bulk Insulation R2.0

Internal Wall
•Single Skin Brick Bulk Insulation: No Air Gap R 2.0
•Single Skin Brick No Insulation
•Tilt Concrete No Insulation

External Floor
•Waffle pool slab
•Suspended floor (Open to air)-R2.5

Internal Floor/Ceiling
•Concrete Above Plasterboard Bulk Insulation R 2.0
•Concrete Above Plasterboard No Insulation

External Ceiling
•Concrete, Plasterboard No Insulation No roof space cavity
•Concrete, Plasterboard Bulk Insulation R5.5 No roof space cavity

Roof
•Waterproofing Membrane No Insulation, Only an Air Gap

Note: All coffer ceiling verticals and walls against the roof-space, to be insulated, with the same insulation as the ceiling insulation

Note: All down lights: I.C.F. (IC-4/ insulation covered/ including the control gears) rated as per AS/NZS standard 60598 and IP (sealed) rated as per IS EN 60529:1992, European IEC 60509:1989

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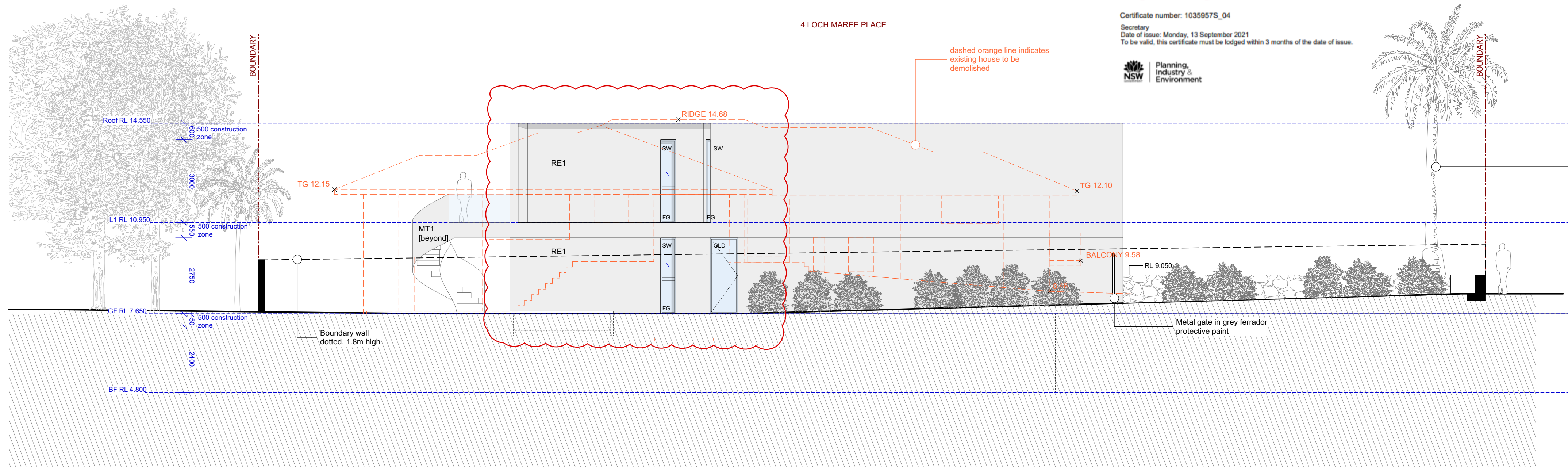
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LOCH MAREE PLACE

Existing palm tree to be retained

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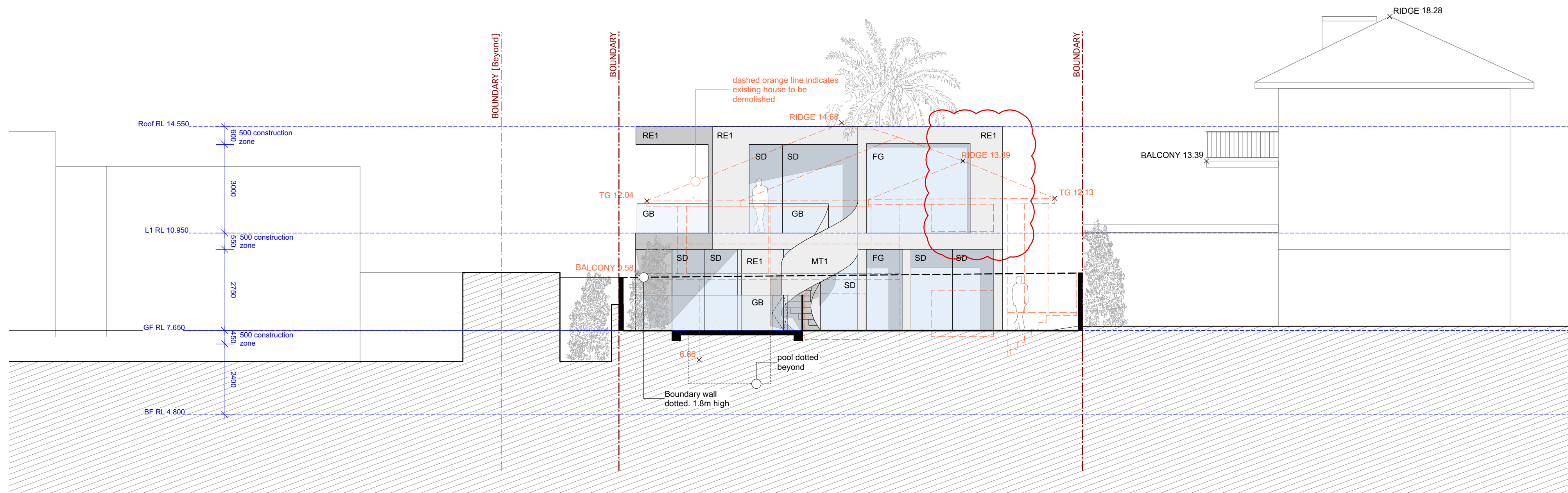
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1
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Scale 1:100 @ A1



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GAR	Garage Door - Grey metal (sliding)
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2
3_02 ELEVATION - West
Scale 1:100 @ A1



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For details: See the Basix certificate

Alternative water

The applicant must install a rainwater tank of at least 5000 litres.
The rainwater tank to collect rain runoff from at least 150 m² of the roof.
The applicant must connect the rainwater tank to:

- all toilets in the development
- the cold water tap that supplies each clothes washer
- at least one outdoor tap in the development

Fixtures

- Shower heads 3 star (>7.5 but <= 9.0 L/min)
- Toilets 4 star
- Kitchen tap 5 star
- Basin Taps 5 star

Hot Water System: gas instantaneous with a performance of 6.0 stars /or a system with a higher energy rating/

Heating/Cooling: In at least 1 living area and 1 bedroom: 3-phase Air-conditioning; Energy rating: EER 2.5 - 3.0 (Zoned)

Ventilation

- At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off
- Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
- Laundry: natural ventilation only, or no laundry; Operation control: n/a

Natural lighting: Window in 3 Bathrooms/Toilets

Artificial lighting fluorescent or (LED)/DEDICATED/:

- 5 in the bedrooms/study,
- 3 in the living,
- The kitchen, Bathroom, Laundry and ALL Hallways

OTHER

- The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
- The applicant must install a fixed outdoor clothes drying line for the dwelling

Swimming pool

- The swimming pool must not have a volume greater than 50 kilolitres.
- The swimming pool must be outdoors.
- The applicant must install the following heating system for the development: solar only or the system with a higher energy rating.
- The applicant must install a timer for the swimming pool pump in the development.

Alternative energy

- The applicant must install a photovoltaic system with the capacity to generate at least 1.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.

Building Elements

For Details: See the NatHERS certificate

Thermal Comfort Simulation method
A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs.
The dwelling design has been assessed with NatHERS software from an accredited assessor

External Walls

- Tilt up Concrete No Insulation
- Tilt up concrete, lined Bulk Insulation R2.0

Internal Wall

- Single Skin Brick Bulk Insulation, No Air Gap R 2.0
- Single Skin Brick No Insulation
- Tilt Concrete No Insulation

External Floor

- Waffle pod slab
- Suspended floor (Open to air) R2.5

Internal Floor/Ceiling

- Concrete Above Plasterboard Bulk Insulation R 2.0
- Concrete Above Plasterboard No Insulation

External Ceiling

- Concrete, Plasterboard No Insulation No roof space cavity
- Concrete, Plasterboard Bulk Insulation R3.5 No roof space cavity

Roof

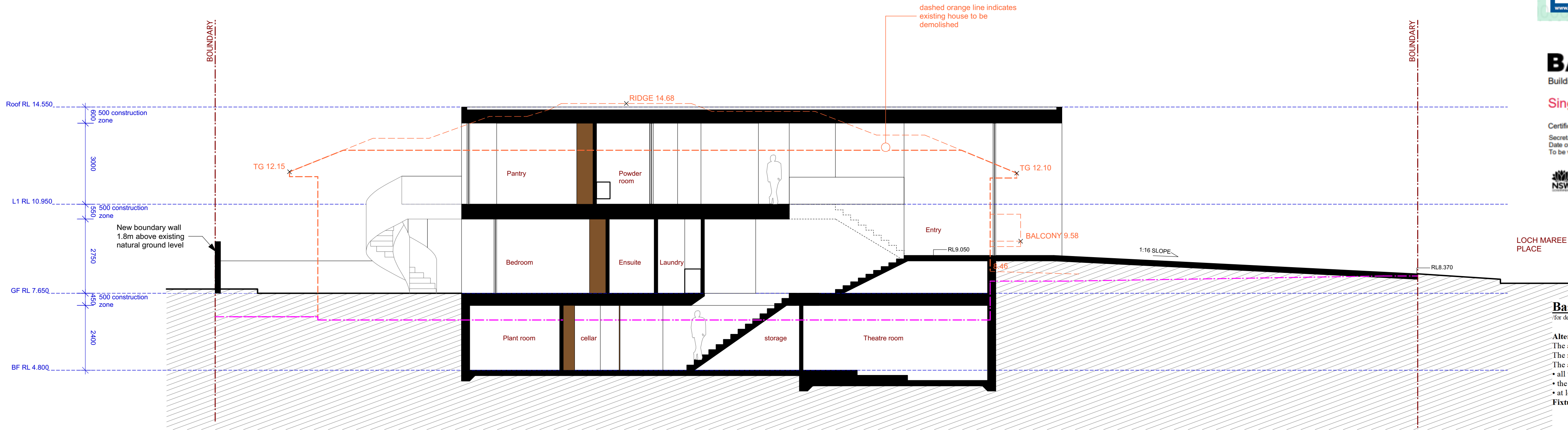
- Waterproofing Membrane No Insulation, Only an Air Gap

Note: All ceiling verticals and walls against the roof-space, to be insulated, with the same insulation as the ceiling insulation

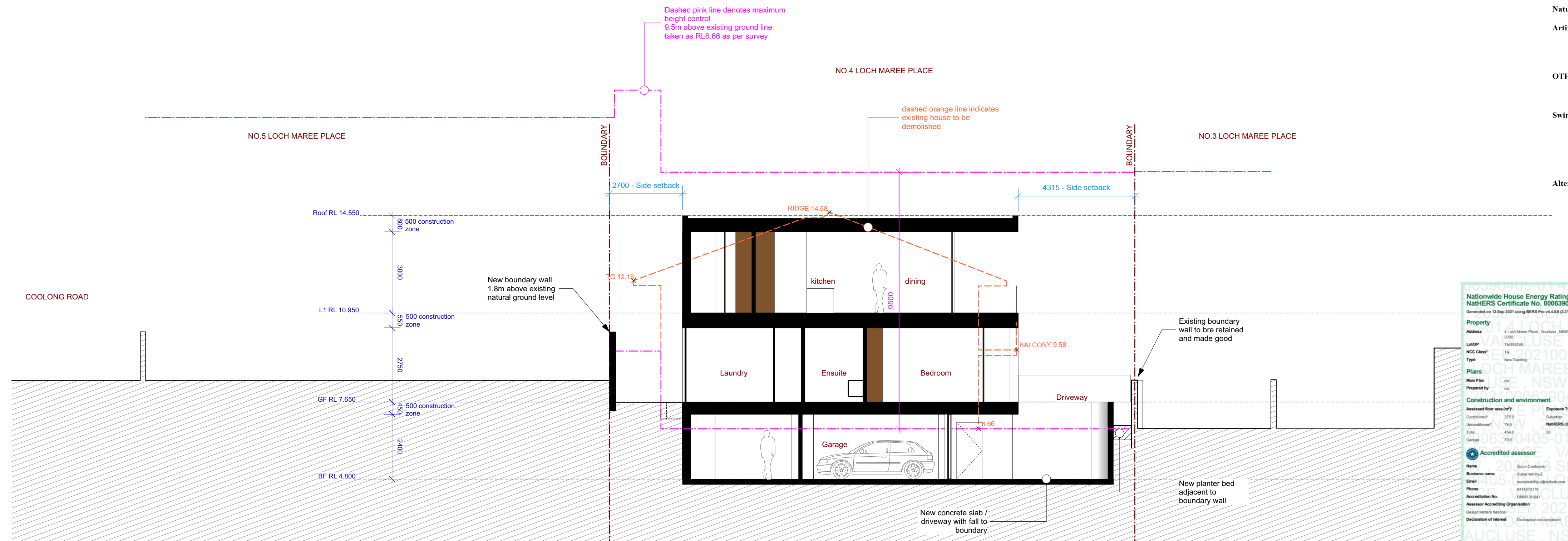
Note: All down lights, IC-F/IC-4/ (insulation covered/ including the control gears) rated as per AS/NZS standard 4896 and IP (sealed) rated as per BS EN 60529-1992, European IEC 60509-1989

Note: (where the roof is extended over an open area such as a deck or carport) A barrier to be installed within the roof space to separate the space above the zoned part of the house and the space above the open veranda.

Note: Ceiling fans: For the number and the location, see the NatHERs certificate

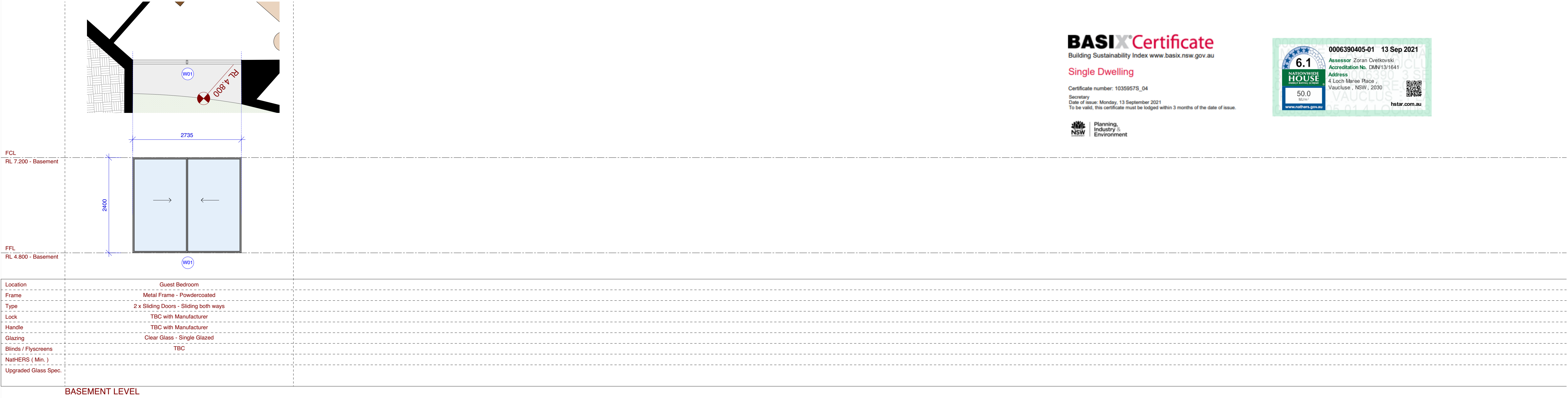
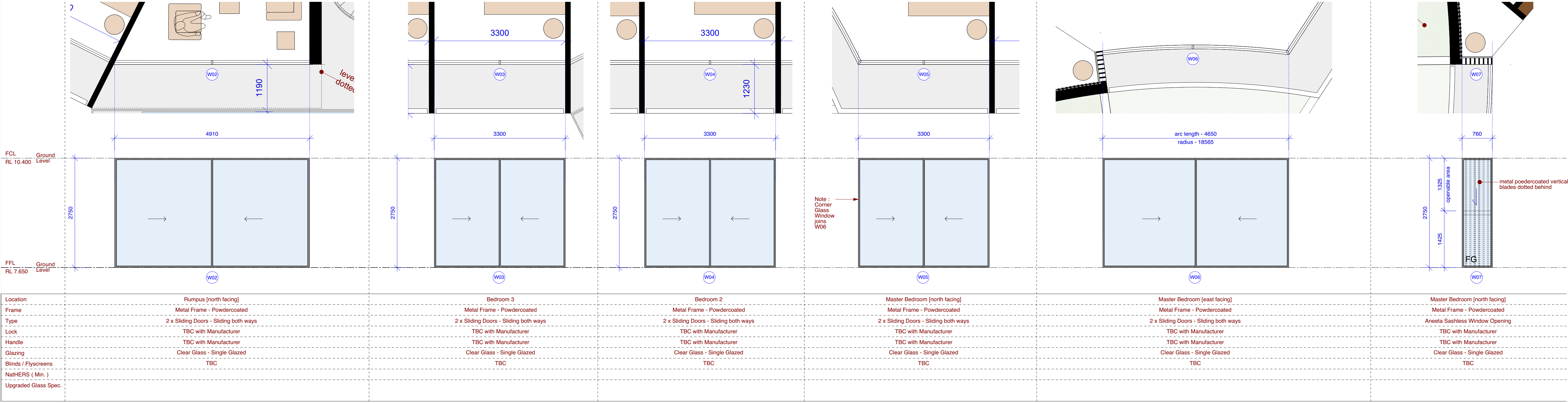


1
2_01 SECTION - East/West
Scale 1:100 @ A1



2
2_01 SECTION - North/South
Scale 1:100 @ A1





BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1035957S_04
Secretary
Date of issue: Monday, 13 September 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



